

# Short Subdivision No. 6867

## Lot 74

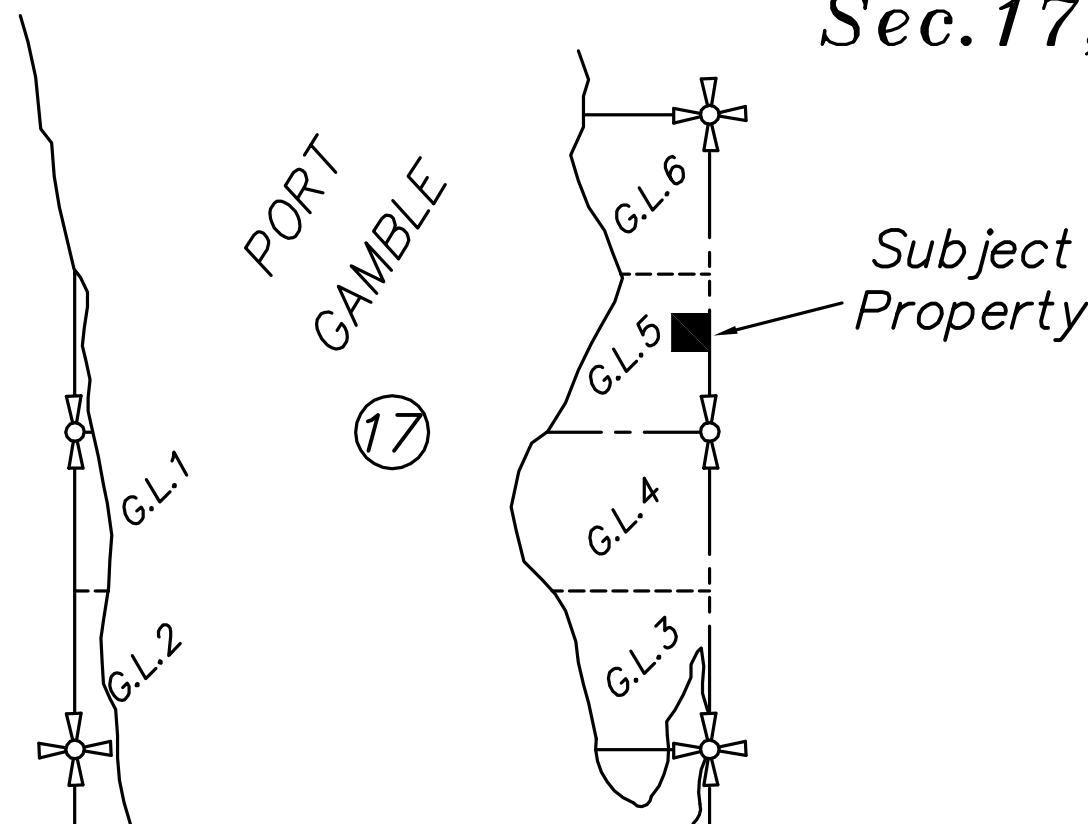
### plat of Gamble Bay Tracts

Volume 7, Pages 40 & 41

Government Lot 5 (SE 1/4, NE 1/4)

Sec.17, T.27N., R.2E., W.M.

Gary & Linda Henry



Indexing Vicinity Map

SEC.17, T.27N., R.2E., W.M.

Kitsap County, Washington

#### Notes

- 1) This survey was accomplished by field traverse with a three second total station.
- 2) This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.
- 3) Refer to the Wetland Delineation Report prepared by Wiltermood Associates dated May 17, 1994.
- 4) Easement A is an easement for ingress, egress and utilities, over, under and across the East 20.00 feet of Lot B, burdening Lot B for the benefit of Lot A. Easement B is for ingress, egress and utilities, over, under and across the area shown, burdening Lots C and D for the benefit of Lots A, B and D. Easement C is an easement for utilities over, under and across the area shown burdening Lots C and D for the benefit of Lots A, B, C and D. Easement D is an easement for utilities over, under and across the area shown burdening Lots A and B of Kitsap County Short Subdivision No. 6868 for the benefit of Lots A, B, C and D. Easement H is an easement for storm drainage facilities burdening Lot B and benefitting Lots A, B, C and D. Utilities easement are for construction, use, maintenance and repair of all utilities over, under and across the areas shown.
- 4) The subject property is subject to the terms and conditions of the "Easement" recorded under Kitsap County Auditor's File No. 20020710067 benefitting Puget Sound Energy, Inc. The information in said document is insufficient to locate said easement.
- 5) Well A and Well B are part of a Group B Water System serving Short Subdivision No. 6867 and Short Subdivision No. 6868.
- 6) This property is subject to the Declaration of Covenant Associated with Performance of Erosion and Sedimentation Control Facilities as recorded under Kitsap County Auditor's File No. 201304220272.
- 7) This property is subject to the Declaration of Covenant Associated with Maintenance and Operation of Storm Drainage Facilities as recorded under Kitsap County Auditor's File No. 201603220113.
- 8) This property is subject to the Declaration of Covenant Associated with Maintenance and Operation of Storm Drainage Facilities as recorded under Kitsap County Auditor's File No. 201603220114.

#### Conditions

- 1) All elements and requirements set forth in Ordinance 108-E-1991 shall be adhered to.
- 2) For Lots A, B and D, all building permits issued on these lots shall be subject to impact fees pursuant to Ordinance Nos. 143-1992 and 144-1992.
- 3) Pursuant to the Critical Areas Ordinance, a minimum 50 foot non-clearing buffer and an additional 15 foot construction setback shall be maintained along the perimeter of the wetland with the exception of the access driveway within Easement B and the storm drainage facilities within Easement H.
- 4) Access to all lots shall be limited to the easements shown on this short subdivision.
- 5) The owner of the lots in this short subdivision shall be responsible for the maintenance of the storm drainage facilities for this development following construction. This short subdivision is subject to the Stormwater Maintenance Covenant recorded under Kitsap County Auditor's File No. \_\_\_\_\_
- 6) Lots A, B, C and D are subject to the Road Maintenance Agreement, recorded under Kitsap County Auditor's File No. \_\_\_\_\_
- 7) Lots A, B, C and D of this short subdivision and the lots within Short Subdivision No. 6868 are subject to a Water Users Agreement recorded under Kitsap County Auditor's File No. \_\_\_\_\_
- 8) At the time of building permit application, the applicant shall submit Kitsap County Public Works Form 1601 for issuance of a Concurrence Certificate, in compliance with KCC 20.04.030, Transportation Concurrence.
- 9) At the time of Building Permit Application and/or any additional road construction or site work, the property owner shall comply with Kitsap County Code Title 12 effective at the time the Preliminary Short Subdivision Application was deemed complete, October 25, 2005. Fees and submittal requirements shall be in accordance with Kitsap County Code in effect at the time of Building Permit Application.
- 10) Lots A, B and D shall connect to an infiltration system per the approved SDAP 05 28158. Before the issuance of building permits, the property owner shall submit to the Department of Community Development for review a site plan showing the location and size of the infiltration system for that lot per the design of SDAP. Maintenance of these systems will be the responsibility of the homeowner.
- 11) The chart below depicts the allowable square footage for each lot. If any proposed impervious area exceeds the allowable square footage as designated per the chart, then an engineered Site Development Activity Permit (SDAP) will be required for that lot.

	Max Roof	Max Driveway	Total Impervious
Allowable Impervious Area Lot A	1400	600	2000
Allowable Impervious Area Lot B	1400	500	1900
Allowable Impervious Area Lot C	Existing res.	1180	1180
Allowable Impervious Area Lot D	1600	1320	2920

#### Legal Description

Lot 74 of the plat of Gamble Bay Tracts as recorded in Volume 7 of plats, Pages 40 and 41, records of Kitsap County, situate in Government Lot 5, Section 17, Township 27 North, Range 2 East, W.M., Kitsap County, Washington.

#### NOTICE

1. Responsibility and expense for maintenance of roads leading to or serving lots within this Short Subdivision, (unless such roads have been accepted into the County's road system) shall rest with the lot owners.
2. Any further division of lots within this Short Subdivision shall be subject to the requirements of Kitsap County Code 16.48.

#### DIRECTOR'S APPROVAL

Approved for recording pursuant to Kitsap County Code 16.48

Director of Community Development

Date: \_\_\_\_\_

#### TREASURER'S CERTIFICATE

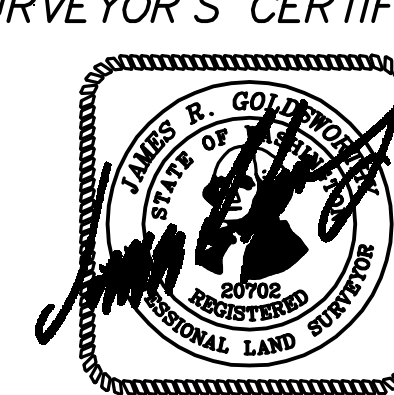
I hereby certify that real property taxes are current for the subdivided property shown hereon

to: \_\_\_\_\_

Date \_\_\_\_\_

Kitsap County Treasurer

#### SURVEYOR'S CERTIFICATE



8/31/16

I, James R. Goldsworthy, registered as a professional land surveyor by the State of Washington, hereby certify that this Short Plat is based upon an actual survey of the land described herein, conducted by me, or under my supervision, during the period of October, 1994 through September, 2016, that the distances, courses and angles are as shown hereon correctly; and the lot corners have been staked on the ground as depicted hereon.

KITSAP COUNTY, WASHINGTON

SHORT SUBDIVISION NO. 6867

4305-000-074-0005

Assessors Account Number

Gary & Linda Henry

Name of Applicant

#### AUDITOR'S CERTIFICATE

County Auditor \_\_\_\_\_ by \_\_\_\_\_ Deputy Auditor

**ADAM • GOLDSWORTHY • OAK**  
A G O LAND SURVEYING, LLC

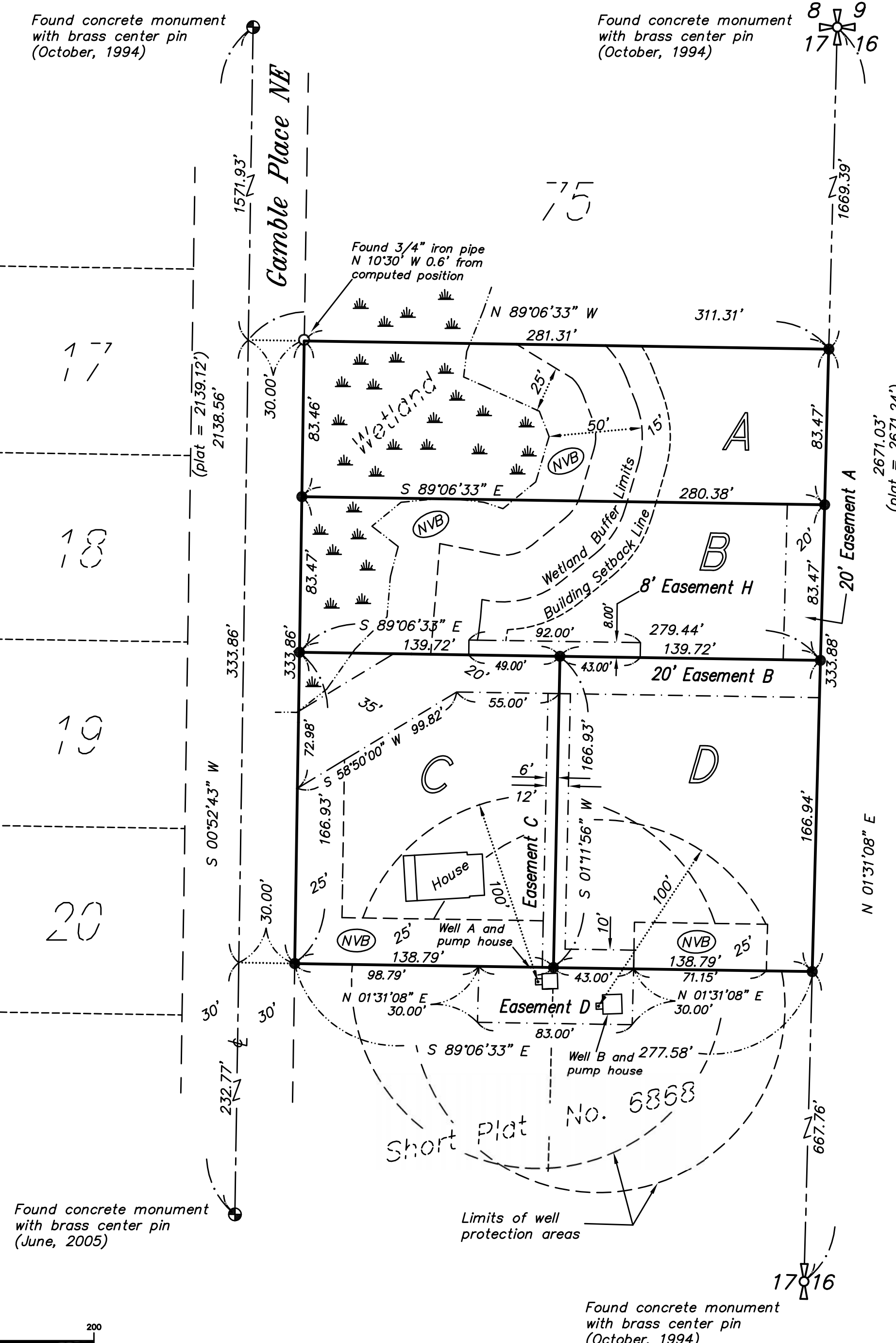
1015 NE HOSTMARK ST. (360)779-4299  
POULSBO, WA 98370 (206)842-9598

DATE 8/31/16 FIELD BOOK 842  
DRAWING 3661SP1 SHEET 1 / 2

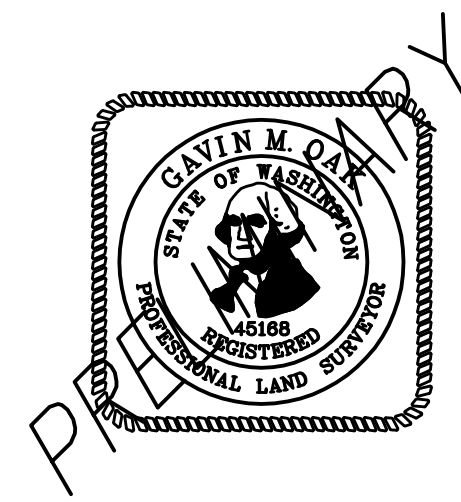
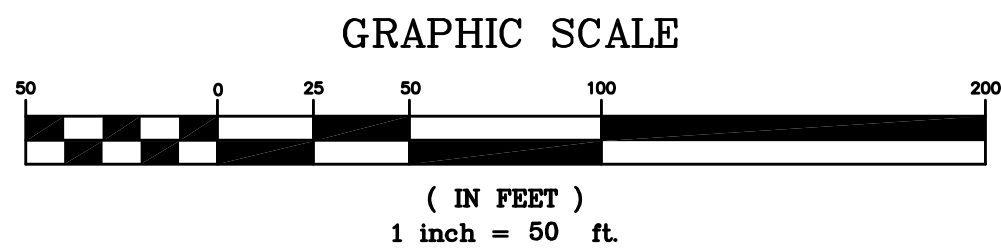
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 Lot 74  
 plat of Gamble Bay Tracts  
 Volume 7, Pages 40 & 41  
 Government Lot 5  
 Sec.17, T.27N., R.2E., W.M.  
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Scale: 1" = 50'  
 Assumed

- Legend**
- = Set 3/4" iron pipe and lot stake
  - = Found point as noted
  - ⊕ = Found monument as noted
  - (NVB) = Natural vegetation buffer



Total parcel Area = 93,295 sq. ft.  
 15% of Total Area = 13,994 sq. ft.  
 Natural Vegetation Buffer Areas = 28,252 sq. ft.



**ADAM • GOLDSWORTHY • OAK**  
 A G O LAND SURVEYING, LLC

1015 NE HOSTMARK ST. (360)779-4299  
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DATE 8/15/18 FIELD BOOK 842  
 DRAWING 3661SP2 SHEET 2 / 2